



01 August 2024 | Revision 1.1

HOBBS BAY ESTATE **Design Guideline**

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Images and photos in this report are used to inspire and show examples. They are artistic impressions only.

Site Plan



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A | Introduction

A1 The Purpose of the Hobbs Bay Estate Design Guideline

The main objective for this Design Guideline (HBDG) and the Design Guideline Review Process is to ensure the strategy of a premium coastal subdivision is achieved at Hobbs Bay Estate.

Property owners' can be confident that their investment is protected with neighbours equally invested in this strategy. This should put all owners in a better position to protect and grow their investments. Quality has been balanced against construction costs to ensure the guideline provides affordable design options. There is also scope for variety and individuality in design outcomes.

Our mission at Hobbs Bay Estate is to create a premier coastal development that sets a new standard of quality on the Hibiscus Coast. We are dedicated to upholding the development's aesthetics by seamlessly integrating natural coastal elements, enhancing the beauty and experience of the residential neighbourhood.

HOBBS BAY CHARACTER:

Premium Quality Design and Landscaping

Natural, Coastal, Environmental Character

Contemporary Coastal Architecture & Landscaping

Views of Hobbs Bay and the Hauraki Gulf

Openness: Extensive Landscaping, Reserves, Variety in Lot Size, Wider Road Corridors

Preservation of the Historical Homestead and future Historical Precinct

Landscaping and Architecture controls, particularly to lot frontages, are key drivers in protecting the character of Hobbs Bay Estate. The vision includes, well maintained properties, with lush green, open gardens and architecturally designed homes with considerate coastal materials and forms.

There is a separate Heritage Precinct section to the HBDG which addresses preservation of the heritage layer of the site. See section E.

The HBDG is supplementary to the following, refer Appendix Section H:

- Auckland Unitary Plan
- Hobbs Bay Resource Consent (HBRC)
- HBRC HDL Design Controls (HBRC)
- HBRC Hobbs Bay Landscape Concept and Design Controls by Boffa Miskell (LCDC)
- Hobbs Bay Estate Covenants

A2 Design Guideline Review Process

Each property owner must undergo The Hobbs Bay Design Guideline Approval Process. Refer to section G of this report for details.

The Design Guideline may be amended from time to time by the Hobbs Bay Design Guideline Team, HBDRT.

B | Site Design

B1 Site Design Objective

Site design encompasses a set of controls including site coverage, setback and building platform controls. Buildings should be located to enhance the open quality of the subdivision, and support the overall character of Hobbs Bay Estate.

SITE DESIGN CHARACTER:

Emphasis on Open Front Yards & Street Front Activation

Public and Private Open Space

Maximise Views or View Shaft Opportunities

Coastal Environmental Elements - Solar Gain, Shelter

B2 Building Controls

Refer to the Auckland Unitary Plan for Height in Relation to Boundary, Max Height and other applicable site controls not covered under the Hobbs Bay Resource Consent.

Building Coverage, Building Platforms, Yard Setbacks, Impervious Area

The 'LCDC' splits lots into 6 different zones, each with it's own Yard Design Control Setbacks. Site Coverage and Impervious Areas are also covered in this document. See Appendix.

Other applicable documents such as Scheme Plans and Easements are listed in Section H Appendix.

B3 House Orientation

Activation of the Streetscape

Well designed open street frontages are a key design strategy of Hobbs Bay.

- Orientate house towards street. Provide habitable rooms to street frontages, not just garaging.
- Bathrooms and laundries should not be located fronting the street, where negatively impacting street activation.
- Pedestrian access from the street to the front door should be clearly defined.

Activation of Open Space

All buildings on the north, west and east side of a reserve or open space should orientate some living towards the open space. This will allow activation to all open frontages.

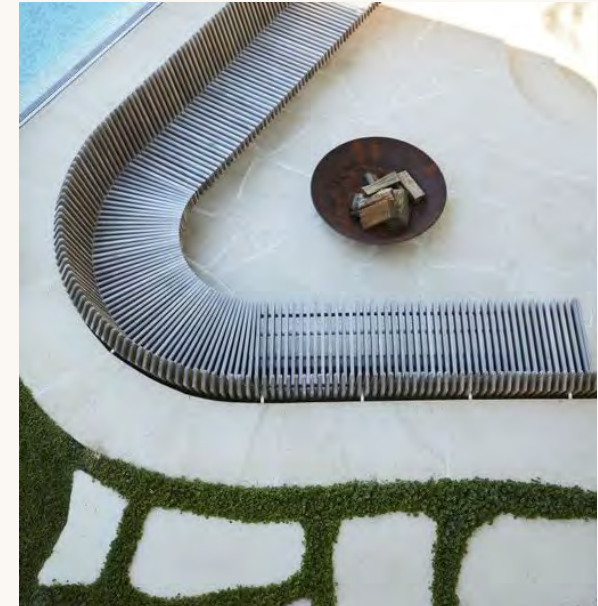
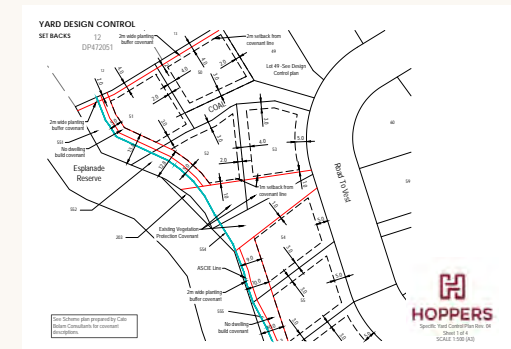


Image Source: Luigi Rosseli Architects



Yard Design Control Setbacks - Refer Appendix



Sheltered and Private Outdoor Space.
Image Source: Studio 2 Architects

Orientation for Public and Private Spaces

- Main outdoor areas are ideally at ground level, prioritised over balconies.
- Each dwelling should incorporate a living court at ground level. Living courts should be accessible from a living area. They shall be made private by their back yard location or through screening. Screening should be in keeping with the architecture and landscaping.

Orientation Environmental

- Designers should maximise views and view shaft opportunities.
- Houses should be located to maximise solar gain on the north, west and east elevations.
- Outdoor areas sheltered from the wind and rain are encouraged.

Corner Lots

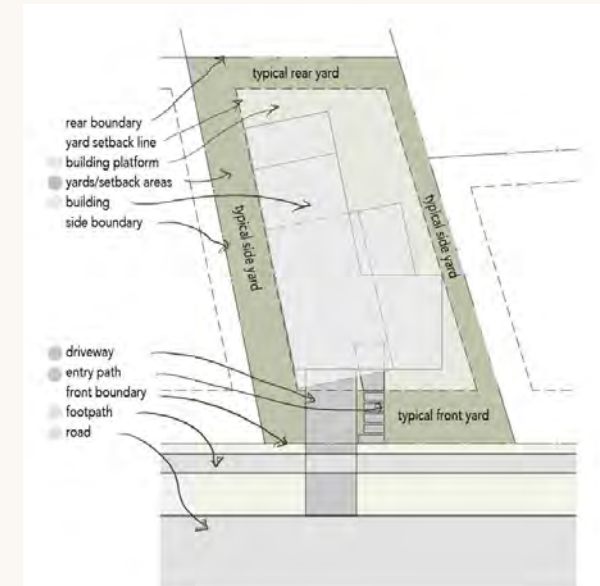
Both road frontage yards must be treated the same to preserve the Hobbs Bay landscape strategy. Refer to Landscape Design, Section C for further details. There is a Corner Lot screening allowance described in Section C.

B4 Driveways & Parking

Refer to Section C8.

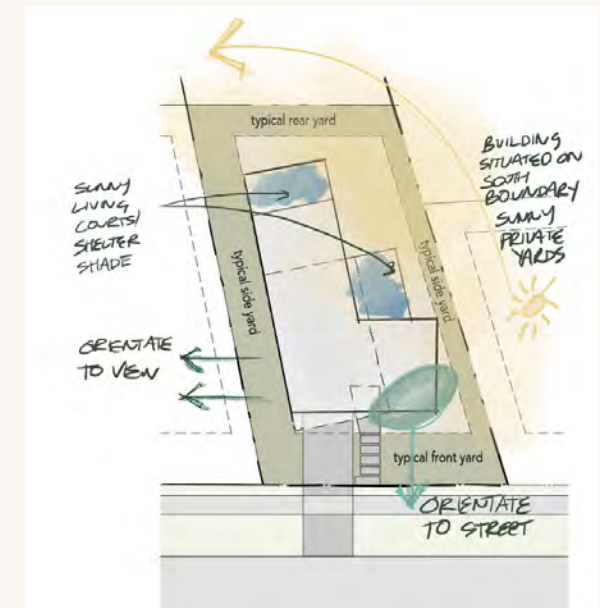
B5 Temporary Buildings, Minor dwellings & Auxiliary Buildings

- Temporary structures such as shipping containers, office prefabs, small buildings on wheels or tiny homes etc, are only permitted during construction. They must be removed prior to occupation.
- A minor dwelling is permitted, for lots over 850m2. Minor dwellings must be built within the build platform and should not be visually dominant from the street. Minor dwellings must be in keeping with the design of the main building.
- All minor dwellings or attached secondary dwellings require at least 1x extra screened off on-site carpark. See section C8 for carpark screening requirements. A screened carpark is a minimum requirement. An extra garage is an alternative option and is preferable for secondary dwellings. Section D2 Garages Discreet Design, should be applied. A carport incorporated architecturally into the overall design is an acceptable alternative to a third garage or screened carpark. Carports can not be tacked onto the side of the house or built outside the build platform.
- For garden sheds and other auxiliary buildings, see section C5.



Site Diagram

Pedestrian Access - Street to Front Door, Typical Lot - Building Platform, Setbacks & Yards of a Lot



Site Diagram - House Orientation

Orientate towards the street, Maximise Views, Maximise Solar Gain and Shelter

C | Landscape Design

C1 Landscape Design Objective

Landscaping is an intrinsic part of Hobbs Bay Estate and is required under the Subdivision Resource Consent and Covenants. Landscaping supports the natural coastal environment, the open character of the subdivision and street appeal. Generous landscaping of lots is encouraged, particularly to front yards. Intergrating buildings into the landscape is an important design strategy.

LANDSCAPE CHARACTER:

Premium Quality

Contemporary Coastal

Natural Colours & Materials

In Keeping with the Architecture

Emphasis on Front Yards - Low Planting & Fence-free

Working with natural site slopes, low retaining walls only

This Guideline is supplementary to the Subdivision Resource Consent, HBRC including the Hobbs Bay Landscape Concept and Design Controls Report, LCDC.

Landscape plans will be reviewed as part of the Hobbs Bay Design

Guideline Approval Process, section G. Prior to construction on site, landscape plans must be reviewed and approved by HBDRT to ensure subdivision Resource Consent and Design Guideline compliance. All trees, planting and hard landscaping should be included on the Landscape Plan and include a Landscape Maintenance Plan.

C2 Planting General

- Yards visible to the public should be planted within 3 months of Practical Completion.
- All yards are to be landscaped.
- A consistent contemporary landscaping theme for a lot is required.
- Planting should flow through from adjacent reserves, streetscapes and residential sites.
- Refer to C4 Plant Species List for appropriate species. Plant species not listed but fit with the landscaping strategy may be considered.
- Species should be limited to provide a contemporary coastal aesthetic.
- Coloured varieties are strongly discouraged.
- Staking to be visually recessive, natural or dark stained timber.
- Dead plants and trees should be replaced each planting season. Refer to section F Maintenance and Completion.
- Side yard and back yard, hedge and fence heights, max 1.8m.
- Large trees should be planted at least 2m from a lot boundary. Trees should reach max mature heights of 5m. For larger lots, some exception to this will be considered.



Image Source: Danger Barin Smith, Shafer Design

C3 Street & Other Open Yard Frontages

- Front yard landscape designs must complement the streetscape by being of an open and lush coastal nature. Landscaping must also be complementary to the architectural design of the lot.
- Fence free front yards are required. No erected walls or fences within front yards within front yards. Front yards are typically the first 5 metres from the road frontage boundary.
- The above strategy will ensure street surveillance.

Please Note: Front yard planting and fence free design guidelines described above, take precedence over the requirements set out in the Subdivision Resource Consent LCDC, including Fencing and Boundary Treatments pg 25 and Front Yard Controls pg 28. The precedence of these documents is clarified throughout this section of the Design Guideline.

Front Yard Planting Strategy - For All Front Yards

Refer HBDG Section C3 of this guideline. HBDG planting guidelines take precedence over LCDC.

Boundary planting to front and side boundaries is required:

- For appropriate hedge or plant varieties refer to C4 Plant Species List. Low plants, hedges and trees are included.
- A minimum 1m width planting strip across the front boundary is required. This strip also returns along the side boundaries within the front yard. This excludes the driveway width allowance and entry pathway.

- Mature planting heights of 0.6m minimum to 1.2m maximum for hedges and 'low plants' is required. At the time of planting, a minimum 0.4m 'low plant' height and a minimum 0.8m 'hedge' height is required. Plants are to be planted at a maximum approximate 800mm spacings and offset from the boundary by 800mm.
- One tree must be planted in a front yard and meet the requirements set out under C2. Front yard trees should be at least 1.6m tall at the time of planting.
- Please note: These are minimum yard planting requirements. Extra planting is encouraged at the recommended heights noted in this section. Extra planting should apply the same landscaping strategy to ensure yards are open and view shafts are maintained.

Corner Lots

Corner lots shall apply C3 above, to both road facing yards. Low planting and fence free design is encouraged.

Private back yards should be incorporated. However, a permeable boundary fence can be constructed along one front yard boundary only and for a maximum of 50 percent of that boundary length. A permeable fence must meet the requirements under Section C5.

Plan View of Front Yard Planting Strategy

- Minimum Requirements

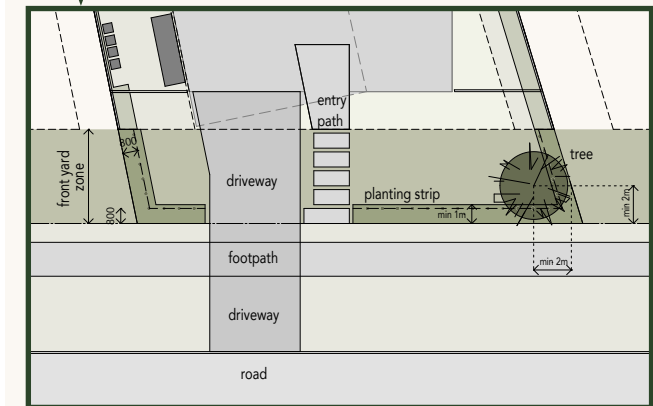
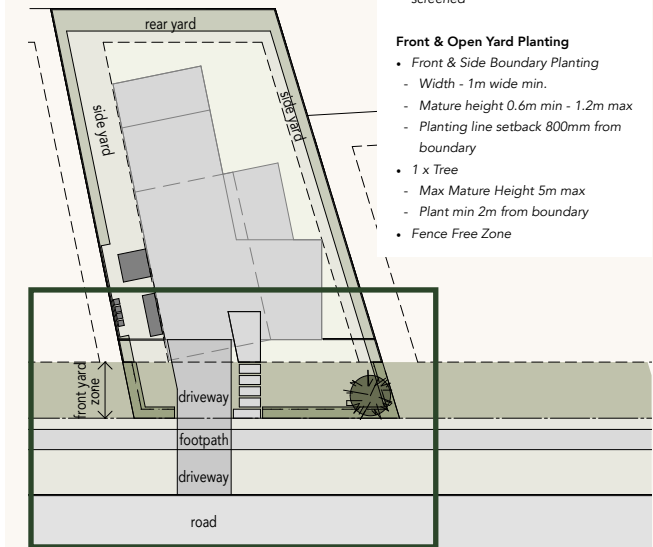
These are minimum requirements and we encourage extra planting to the front yard.

Side & Rear Yard Planting

- Incorporate landscaping and planting to each yard
- Boundary Hedging 1.8m max height
- Boundary Fencing 1.8m max height
- Utilities & Services - must be screened

Front & Open Yard Planting

- Front & Side Boundary Planting
 - Width - 1m wide min.
 - Mature height 0.6m min - 1.2m max
 - Planting line setback 800mm from boundary
- 1 x Tree
 - Max Mature Height 5m max
 - Plant min 2m from boundary
- Fence Free Zone



Front Yard Planting Strategy - For All Front Yards

The Front Yard Planting Strategy LCDC page 28, should be applied in conjunction with this HBDG section C3. HBDG planting guidelines take precedence over LCDC.

YARD DESIGN CONTROL

BOUNDARY PLANTING STRATEGY



C3 Street & Other Open Yard Frontages CONT.

Typical Planted Site (Subdivision) Boundary

This is as per the LCDC Landscape Concept and Design Controls Report page 30, see adjacent. The LCDC should be read in conjunction with page 10 of the HBDG.

'A 2m planted buffer should extend along the full rear yard boundary. The planted buffer should include robust tree and shrub planting, such as *Corynocarpus laevigatus*, and be able to achieve a minimum of 1.5m in height.'

'Fencing to lot boundaries adjoining neighbouring subdivisions should be 1.5m in height and permeable.' The subdivision boundary fence will be constructed by the Developer and become the care of the Property Owner.

Typical Planted Coastal Boundary

This is as per the LCDC Landscape Concept and Design Controls Report page 31, see adjacent image.

'Rear yards should in the first instance be planted with robust shrub planting that are congruent with the character of the esplanade reserve, such as *Astelia banksii*.'

'If required a 1.2m high maximum permeable fence can be constructed to the rear yard amongst planting.'

Golf Course Boundary

This is as per the LCDC Landscape Concept and Design Controls Report page 32, see adjacent image.

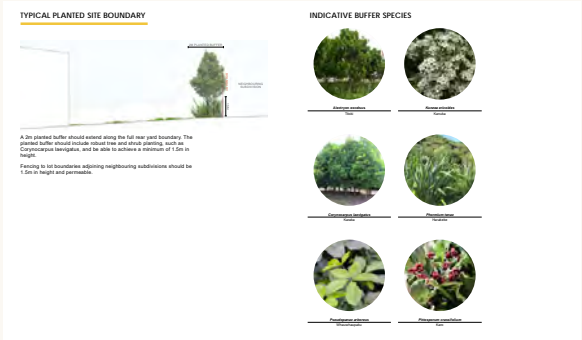
'Rear yard boundaries that adjoin to the golf course should have a 1.2m high post and rail style fence with a 2m planting strip with lower plants to maintain views and maintain a feeling of open space.'

Heritage Precinct Lots

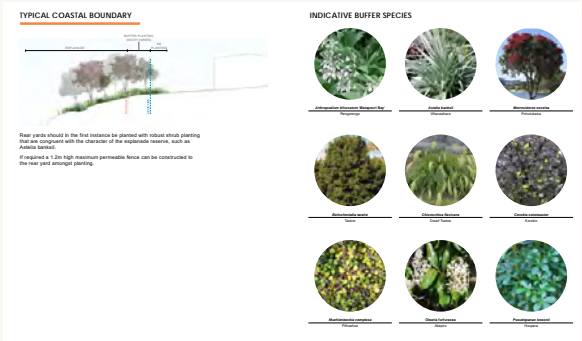
Landscaping Yard Design Controls for Heritage Precinct Lots are located in this section, see page 12 and 13.

Heritage lot landscaping is covered in more detail under section E Heritage Precinct Lots.

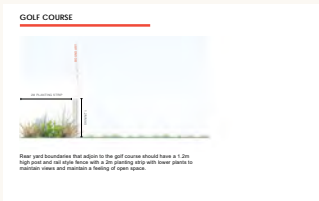
Typical Planted Site (Subdivision) Boundary, LCDC Landscape Concept and Design Controls Report, page 30.



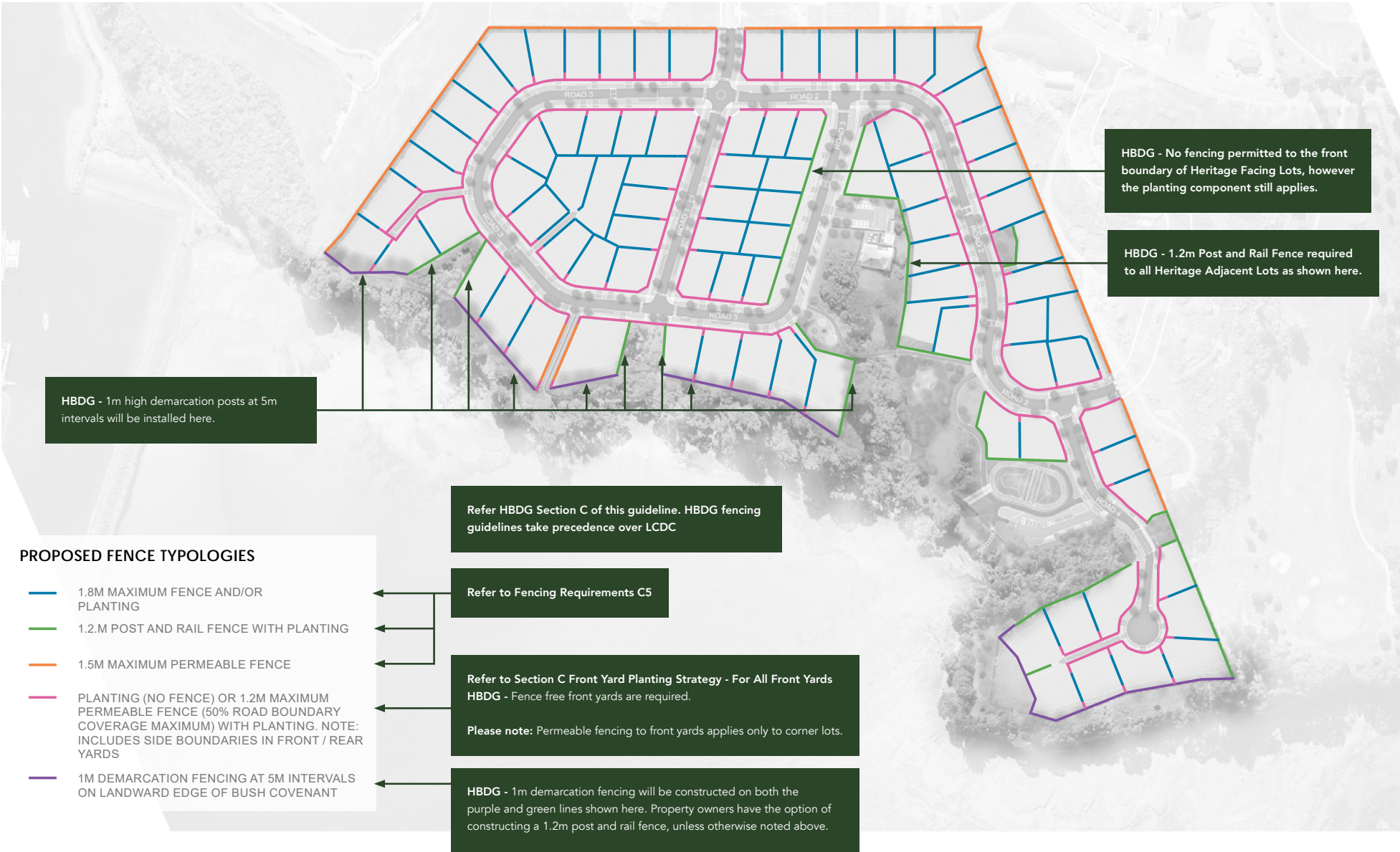
Typical Coastal Boundary, LCDC Landscape Concept and Design Controls Report, page 31.



Golf Course Boundary, LCDC, page 32.



FENCING AND BOUNDARY TREATMENT



YARD DESIGN CONTROL

TYPICAL HOMESTEAD BOUNDARY (PLANTING COVENANT)



TYPICAL HOMESTEAD BOUNDARY



Fencing to lot boundaries adjoining the heritage homestead have a 1.2m post and rail style fence in keeping with the heritage character of the site.

Hedge planting at the base of the fence should be robust and able to achieve 1.5m in height, such as *Corokia 'Gentle's Green'*.

A landscape buffer should be a combination of understorey shrub species and taller specimen trees.

BOFFA MISKELL | HOBBS BAY : LANDSCAPE CONCEPT AND DESIGN CONTROLS - SP2 RESPONSE | YARD DESIGN CONTROL 29

INDICATIVE BUFFER SPECIES



Corokia 'Gentle's Green'
Green Corokia



Pseudopanax lescurii 'Cyril Watson'
Cyril Watson



Libertia grandiflora
Makouli



Lomandra longifolia 'Tanika'
Tanika



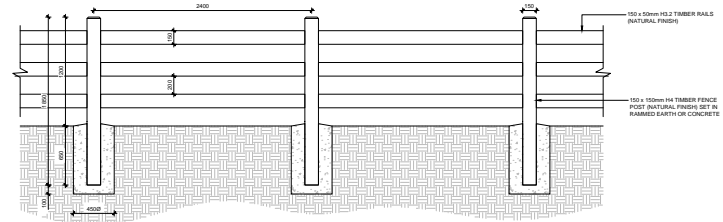
Phormium cookianum 'Emerald Green'
Dwarf Mountain Flax



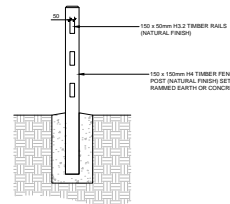
Coprosma 'Poor Knights'
Teagata

YARD DESIGN CONTROL

TYPICAL POST AND RAIL FENCE DETAILS



01 POST AND RAIL FENCE - TYPICAL ELEVATION
Scale: 1:15 @ A1 1:30 @ A3



02 POST AND RAIL FENCE - TYPICAL SECTION
Scale: 1:15 @ A1 1:30 @ A3



03 POST AND RAIL FENCE - PRECEDENT IMAGE

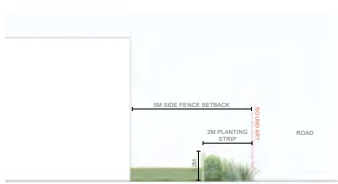
NOTE: ALL TIMBER TO BE NATURAL FINISH AND REMAIN UNPAINTED.

BOFFA MISKELL | HOBBS BAY : LANDSCAPE CONCEPT AND DESIGN CONTROLS - SP2 RESPONSE | YARD DESIGN CONTROL 26

Refer to Boundary Planting Strategy pg 10 for relevant boundary locations

Refer to Fencing & Boundary Treatment pg 12 for relevant boundary locations

HERITAGE HOMESTEAD ROAD



Fencing to lot boundaries with road frontage to the heritage homestead shall have a 1.2m post and rail style fence in keeping with the heritage character of the site.

A 2m planting strip on the road side of the fence should be robust and able to achieve 1.5m in height.

Refer to pg 12, Fencing & Boundary Treatment
HBDG - No fencing permitted to the front boundary of Heritage Facing Lots, however the planting component still applies.

Refer to Boundary Planting Strategy pg 10 for relevant boundary locations

C4 Plant Species list

- Species should support the coastal character of Hobbs Bay and be both environmentally and size appropriate selections. Coastal and native plant species are preferred.
- Plant species are reflective of those listed in the LCDC. They must also meet the requirements set out under this guideline HBDG Section C. Many of the specified species in the LCDC are too large to be included on individual lots.
- Plant species that are not listed here but fit with the landscaping strategy may be considered. This Plant Species List is a guide. Sizes are indicative only.

LOW PLANTS, GRASSES & GROUNDCOVERS

Common Name	Botanical Name	Mature Size (HxW)
Groundcovers		
Renga Renga Lily	Arthropodium bifurcatum	0.6 x 0.6m
Green Mondo Grass	Ophiopogon japonicus	0.25 x 0.4m
Star Jasmine	Trachelospermum jasminoides	1.5m (w)
Grasses		
Lomandra	Longifolia tanika	1.5m (h)
Dwarf Toetoe	Chionochloa flavicans	1.2 x 1.2m
Lomandra	longifolia nyalla	1m x 1m
Frosted Curls	Carex comans	0.4 x 0.4m
Lily Turf	Liriope muscari	0.3 x 0.3m
Lomandra Lime Tuff	Green lomandra	0.45 x 0.45m
Teasel Sedge	Carex dipsacea	1 x 1m
Carex Secta	Carex secta	1 x 1m
Lomandra	Fluviatilis shara	0.5 x 0.5m
Dwarf Mountain Flax	Phormium cookianum	1 x 1m
Mikoikoi	Libertia grandiflora	0.9 x 0.6m
Wharawhara	Astelia banksii	1 x 1m
Ferns		
Silver Lady	Blechnum gibbum	1 x 1m
Tropical		
Tractor Seat	Ligularia reniformis	1 x 1m
Philodendron 'Xanadu'	Thaumatococcus xanadu	1 x 1m

HEDGE PLANTS

Common Name	Botanical Name	Mature Size (HxW)
Low Hedge		
Buxus Green Gem	Euonymus	0.5 x 0.5m
Buxus Japonica	Buxus microphylla	2.5 x 0.5m
Euonymus Emerald Gem	-	0.5 x 0.5m
Medium Hedge		
Citrus Tahitian Lime	Citrus latifolia	3 x 3m
Ficus Tuffi		3 x 2.5m
Tall Hedge		
Corokia Gentys Green		3 x 2m
Griselinia 'Ardmore Emerald'		3 x 2m
Feijoa Species		3 x 2m

LARGER PLANTS, TREES & PALMS

Common Name	Botanical Name	Mature Size (HxW)
Trees		
Titoki	Alectryon excelsus	4 x 4m
Houpara	Pseudopanax lessonii	4 x 4m
Cabbage Tree	Cordyline australis	5 x 2.5m
Puka	Meryta sinclairii	5 x 5m
Houpara	Pseudopanax lessonii	3 x 4m
Ferns		
Silver Tree Fern	Cyathea dealbata	10 x 3m
Wheki-ponga	Dicksonia fibrosa	5 x 2m
Tree Fern, NZ Whek	Dicksonia squarrosa	4 x 1.5m
Tropical Palms		
Cluster Palm	Chamaedorea costaricana	3.5m (h)
Sago Palm Cycad	Cycas revoluta	3+ x 2.5m
Sugar Cane Palm	Dypsis baronii	3m (h)
Dwarf Date Palm	Phoenix roebelenii	2.5 x 1.5m
Bird of Paradise	Strelitzia reginae	2 x 2m

C5 Boundary Fencing, Gates, Sheds & Utilities

- All fencing is to be of a high quality construction and should meet the requirements of this guideline in its' entirety. No screening or fencing with artificial plants or anything other than described in this HBDG.
- Refer to section C3 Street and Other Open Yard Frontages. Please note, there is some overlap between planting and fencing requirements.
- Where fencing is used for the purpose of containment in any yard, rabbit netting or other materials must not be visible to the public or neighbours.
- Any fencing installed by the developer on a lot boundary, will be under the future care of the lot owner.

Side and Rear Fencing

- For Side and Rear Fencing locations refer page 12.
- Maximum height for side and rear fencing is 1.8m and can not be constructed within front yards.
- Fencing should be quality vertical timber paling, or vertical battens, naturally stained or black stained. These are minimum requirements. Aluminium and composite slat fencing is also acceptable. See fencing image examples. Fences should meet pool fencing regulations where appropriate to prevent property owners and their neighbours from building a second fence.

Permeable Fencing

Permeable fencing to the public walkway and subdivision boundary has a 1.5m max height. Refer to page 12.

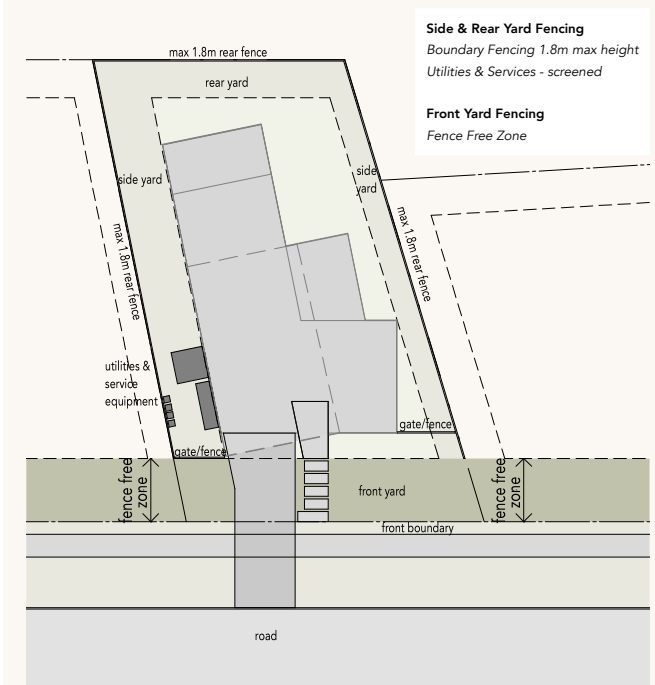
Permeable fencing is acceptable on some lot boundaries. This kind of fencing needs to be in keeping with the architectural style of the lot and hidden by planting so the fence is not visible from outside of the lot. Standard pool fences are discouraged. See fencing image examples.

Permeable Fencing - Corner Lots

Both yards on road frontage boundaries are considered open front yards.

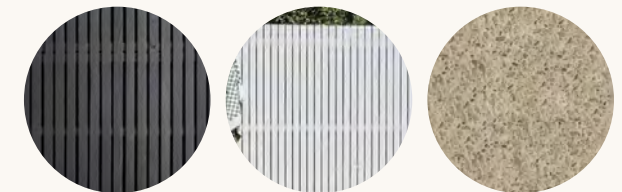
Corner lots are encouraged to have fence free front yards and should be designed to incorporate a private back yard. However, a permeable boundary fence can be constructed along one front yard boundary only and for a maximum of 50 percent of that boundary length. The fence will need to be set back by a minimum of 1m from the boundary to ensure the fence is hidden by the required planting. A permeable fence must meet the requirements under Section C5 Boundary Fencing and C3 Planting.

Plan View of Fence Free Zone and Other Fencing Requirements



Fences

Side Yard & Rear Yard Fencing Examples - Vertical 1.8m high slats



Permeable Fencing - These images show examples of fencing, these images are not indicative of the planting that is also required.



Sheds, Utilities and Service Equipment

- Utilities include, but are not limited to the following; sheds, clotheslines and drying areas, rubbish bins, vegetable gardens and firewood stores.
- Service equipment includes, but is not limited to the following; air conditioning units, plumbing, gas and other service fixtures, above ground detentions/retention tanks, TV antenna, satellite dishes, radio aerials.
- Sheds, Utility and Service areas should be located in a Landscape Plan for HBDR.
- Sheds, Utilities and Service areas should be located off rear or side yards.
- Sheds, Utility and Service areas should not be visible to front yards and neighbours. Landscaped screening of utility areas is encouraged but should be complimentary to the architectural style of the house and landscaping.
- Clotheslines shall be no higher than 1.6 meters.
- Solar panels installation, must be reviewed by the HBDRT. Roof slope should be suitable for solar panel installation, reducing visual impact of the panels. It is preferable these do not dominate roofs to front yards or be unsightly for neighbours.
- Sheds should not be visible from neighbouring properties, including over side and rear yard fences.

Gates

Access gates to side yards are permitted, if necessary for screening or containment purposes. They must fit within the fencing requirements of this guideline (no gates/fences in front yards) and be in keeping with adjacent screening, fencing and architectural style. Standard pool gates are discouraged.

Gates

Gate examples - generally not in front yards or on front boundaries



C6 Swimming Pools, Spas & Pool Fencing

- The visual impact of pools and pool fencing should be limited.
- Pools are to be located off a side or rear yard. Pools can not be constructed in front yards.
- Pool fencing should be complementary to the architectural and landscape style of a lot. Pools, pool fencing and screening should follow the general landscape strategies of this guideline.
- Pool plant equipment should be housed in an auxiliary building, acoustically sound and screened the same way Sheds, Utilities and Service Equipment are located and screened.
- Pool design and fencing must be included in the HBDR, particularly where visible to open space.
- Where a swimming pool is a future addition to a lot, we recommend understanding pool requirements during your initial property design. This will ensure you are not building things such as boundary fencing twice.
- F9/AS1 Restricting Access to Residential pools and all other regulatory standards should be met. Interpreting regulation in a thoughtful and creative way will reduce the visual impact of pool fencing requirements.

C7 Earthworks & Retaining

- Please also refer to the Covenants for earthworks and landscaping.
- Natural topography of the land should be preserved.
- All slopes and mounding should appear natural, seamlessly connecting into existing topography where possible.
- Maximum retaining height are under 1 metre.
- Minimise steep batter slopes. Max slope 1:3.
- Whilst retaining is generally discouraged, low terraced walls are preferred over single large retaining walls.
- The visual impact of retaining walls should be reduced by the use of natural coastal materials and planting. Vertical walls for posts of retaining walls should be buried to the rear of the wall where it is not seen, rather than visible at the front.

Preferred Materials For Retaining Walls

This section refers to retaining visible from the road or to neighbours. This subdivision is sloped, views into individual lots are more prominent than in a subdivision with flatter topography.

- Natural coastal stone, must be in keeping with the material palette for the specific property.
- Other materials approved by HBDRT will be accepted. Planting to the front of retaining walls may be required to reduce their visibility. This will be looked at on a case by case basis.

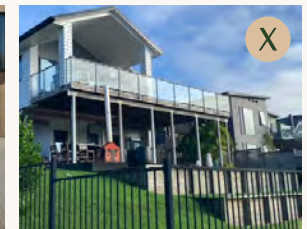


Example: Clever pool fence design. Image: DSB Landscape Architects

Retaining Wall Examples



Natural mounding and suitable natural stone low retaining wall



Retaining would not be acceptable. Exposed vertical supports. Pool fencing and boundary fencing also not accepted.



Retaining Wall Example

Images: 1 benhudson.co.nz 3 outdoorestablishments.com

C8 Driveways & Paving

Materials and Finishes

- Materials and finishes of driveways and paving are to be in keeping with other materials used within the lot.
- Preferred driveway materials include exposed aggregate or tinted concrete finish. High quality slab pavers may be accepted. No plain white or grey brushed concrete, gravel and loose stones to driveways.
- Parking areas off driveways should be either the same material as the driveway or alternative complimentary paving materials.

Position of Vehicle Crossing

- Refer to the Appendix for Vehicle Crossing Guidelines and locations. Vehicle crossings have been located around street parking bays. They can be relocated within existing design parameters and the requirements of the HBRC. Proposed vehicle crossing locations for each lot are shown on Proposed Rooding Overall Layout Drawing 45491-DR-C-3000_M-3002_J pg 71-75 of the 45491-Resource Consent.

Carparking and Access

- Reduce the visibility of carparking on properties by screening or landscaping. See diagrams.
- One driveway access only per lot. Two driveways will be considered for corner lots.
- No buses, motorhomes, recreational vehicles, boats or trailers are to be parked on anything other than a hardstand area, on site. Parking areas are to be screened or hidden from the road frontage.

C9 Exterior Lighting

- External lighting attached to the exterior of the dwelling shall complement the architectural and landscape material palette.
- Glare and light spill should be considered.
- Temporary lighting for seasonal events should be removed after a maximum of two months.

C10 Landscape Features, Sculptures, Ornaments, Pots

Landscape features, sculptures and ornaments are strongly discouraged. They should not be visible to open space yards. Where it can be demonstrated that this is complementary to an architectural style it may be considered.

C11 Trampolines & Other Play Equipment

Trampolines and other play equipment should not be visible to open space yards or in public view. This equipment should be treated in a similar way to C5 Sheds, Utilities and Service Equipment.

C12 Letterboxes

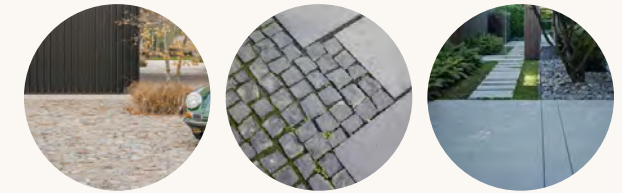
No feature letterboxes, bright colours or sculptural letterboxes.

Driveway Materials & Finishes

Exposed Aggregate



Driveway Pavers, Tinted Concrete



Carpark Screening



No Play Equipment in Front Yards or in public view



Images: 1-6 Pinterest

D | Architectural Design

D1 Architectural Design Objective

Designs are to be of a high quality, simple contemporary, coastal New Zealand Architecture. Architecture will respect the surroundings and environment.

Architectural principles address building form, roof forms and; material and colour selections.

We recommend utilising the skills of a proficient Architect or Architectural Designer to reach a premium design outcome.

Please Note: For Lots 21-25 & 31,34,35,65-69 also refer to the Heritage Precinct section of this guideline.

ARCHITECTURAL CHARACTER:

Premium Quality Design

Contemporary Coastal Architecture

Contextually Appropriate Coastal Colours & Materials

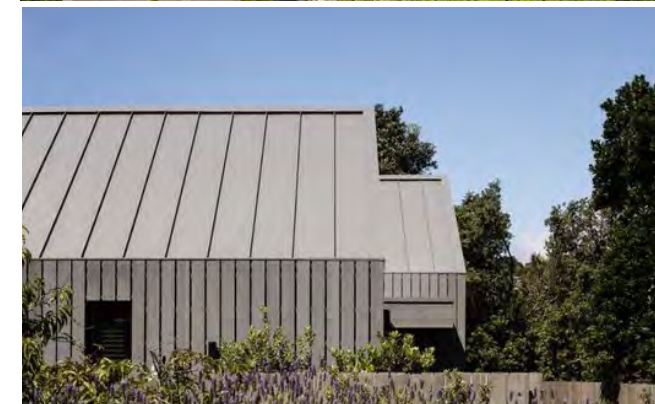
Restrictive and Simple Materials Palette

Views of Hobbs Bay and the Hauraki Gulf

Situate buildings within the natural topography of the site

Preservation of the Historical Homestead and Future Historical Precinct

High Quality Coastal Architecture & Landscaping



Left to right: benhudsonarchitects.com, rtastudio.co.nz, herbstarchitects.co.nz, studio-johnirving.com, theinteriorsaddict.com, mobyarchitecture.com.au, rtastudio.co.nz

D2 Building Form General

3D form and rooflines should be of a simple contemporary coastal architecture.

Duplication of House Designs/Design Similarities

Homes of the same or similar design, or of a mirror image are generally discouraged. Duplication of designs will be assessed on a case by case basis. Alternating material palettes and forms may prevent duplicates from looking the same.

Façade Design - Placement of Windows

- Window placement should avoid direct views of neighbouring properties where possible.
- Placement of windows and doors should be carefully considered architecturally.
- Maximise windows and doors on north and west faces.
- Maximise street façade windows to maintain a connection with the street.

Building Form & The Connection with the Landscape

Designs must thoughtfully balance visual presence with sensitivity to the coastal landscape, ensuring harmonious integration. Architectural forms should respond to the natural slope of the land. Large cuts into the land and extensive retaining walls are to be avoided. Refer to C7 Earthworks and Retaining.

Building Form Bulk

By choosing simple strong architectural forms, 'bulky' building forms can be avoided. Split level homes are encouraged to reduce overall bulk of a home. Pavillions, and gable or mono pitch roofs with adjoining flat roofs are encouraged to prevent 'bulky' outcomes.



High Quality Coastal Architecture & Landscaping, herbstarchitects.co.nz



Bulky Style, the design is not carefully considered as a 3D form

Garages - Discreet Design

- A minimum of two car garaging per lot.
- Discreet garaging is strongly encouraged:

Garage door materials should be recessive, in keeping and complementary to the design.

Garages turned perpendicular to the street are encouraged. They reduce the visual impact of garage doors and can create opportunity for on-site carparking.

Where garage doors face the street, the maximum garage length is 40 percent of boundary length.

Where a garage door is dominant across a frontage, a flush finish style garage door should be applied. It should be of the same material as the adjacent cladding.

Chimneys, Fireplaces and Pizza Ovens

- Chimneys and fireplaces are encouraged.
- Where possible, locations should be discreet. Minimise any smoke annoyance for neighbours. These should not be located in yard setbacks.
- Height limits and widths of chimneys are as per the Unitary Plan.

Corner Sections

With two street frontages, corner sections have a greater impact on the overall character of the street.

Each frontage shall be treated as a front yard and will need to meet the guidelines for both frontages. Refer to C5.

Attached or Unattached Minor Dwellings/Secondary Dwellings

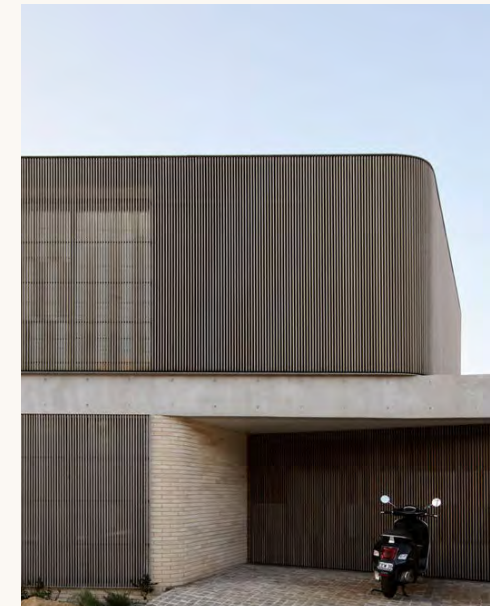
- All secondary dwellings, attached or unattached, must be in keeping with the design of the main dwelling.
- Refer to B5 Minor Dwellings.
- D2 Garages Discreet Design should be applied.
- Refer to C8 for Carparking and Screening.

Relocated and Prefabricated Simple Form Dwellings

- Relocated and prefabricated dwellings are not permitted.



Discreet Flush Finish Garage Door, benhudsonarchitects.com



Discreet Garage, Complementary Garage Door Material, Setback and Angled away from the street



Perpendicular Garage, archipro.co.nz

D3 Roof Form

- Simple, strong rooflines are preferred. Contemporary cohesive roof designs are sought. Not too many odd roof shapes.
- Roof pavilions or less bulky roof forms allow openness, extra light and view shaft opportunities in and around properties.
- No hip roofs. Mono, gable or flat roof designs are encouraged.
- HBDRT reserves the right to restrict roof types and angles so that one style does not dominate at Hobbs Bay Estate.

Gable and Hip Roofs

- 25 to 40 degree pitch. See image.
- Gable roofs facing the street with secondary flat roofs and clipped eaves are preferred.
- No non-architectural pyramid roof forms and non-architectural odd shapes.
- Hip roofs are not permitted. Hip roofs have been excluded due to overuse and poor aesthetic outcomes of brick and tile homes elsewhere. In some cases, hip roofs can be designed well. In the event a hip roof is sought, this may be deemed acceptable following a more thorough HBDR Design Review Process.

Secondary Flat Roofs in more Detail

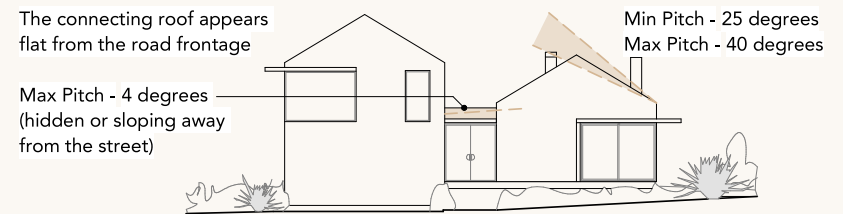
- Secondary flat roofs connecting primary gable elements are preferred over secondary gable roofs and valleys or similarly complex forms, which are strongly discouraged.
- Connecting flat roofs are used to prevent bulky roof forms. They allow openness, extra light and view shaft opportunities in and around properties.
- The flat roof will have a maximum 4 degree pitch, a 3 degree pitch makes it easier to achieve a flat look.
- Connecting flat roofs are not intended to be large roof areas and should not exceed 25% of the building coverage. With large roof areas or long roof runs, these roofs will not appear flat and are not secondary elements. They are best suited to homes with pavilion or connecting house wings.
- Where a flat roof is connecting two gable roofs, the flat portion of the roof should appear flat (horizontal) from the roadside elevations. The slope of the roof won't be seen. Gutters should be placed on alternative elevations not visible from the street.
- The flat portion of the roof should appear as a secondary and connecting element to the gable roofs. This is best achieved by setting the connecting roof at a lower level than the gable roof or at the same level as the gables guttering system, but preferably not above.

Example: Gable Roof Forms with Secondary Flat Roof. Good House Floor Level Design and Landscaping for a sloped site.

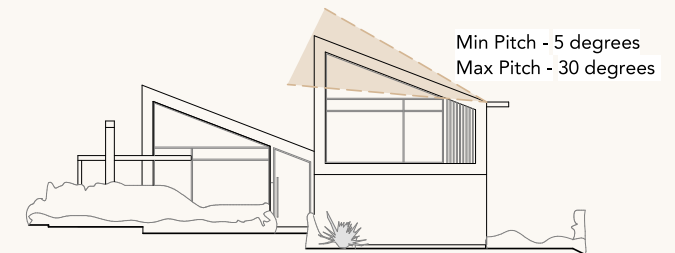


Roof Pitch Examples

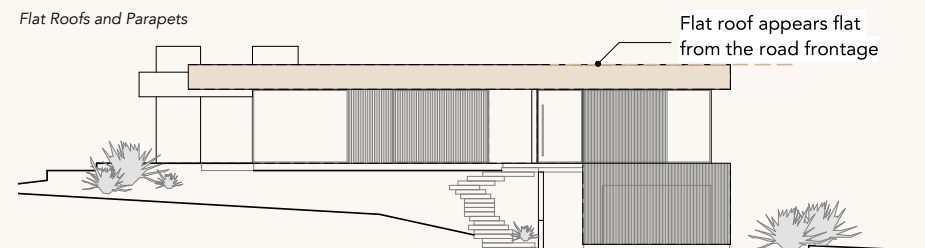
Gable roofs and Secondary Roofs



Mono Pitch Roofs



Flat Roofs and Parapets



Secondary Flat Roofs in more Detail CONT.

- Small parapets are another way to hide the slope and gutter system of a small flat roof. The parapet should ideally connect into the vertical wall of the gable form not into the gable roof cladding. An adjacent louvre roof or eyebrow is another way to ensure any slopes and gutter systems are hidden.

Flat Roofs and Parapets

- Flat (appear horizontal) roofs and parapets are encouraged.
- Exposed gutters in parapet style designs are strongly discouraged. Parapet gutters should not be visible from the street and neighbouring properties.

Mono Pitch Roofs

- 5 to 30 degree pitch. See image.

Flat roofs connecting mono pitch elements are preferred over valleys or similarly complex forms, which are strongly discouraged. This will allow for more light and view corridors, maintaining the openness of the subdivision.

Single Roof Form

- Architecturally designed single roof forms will be by a case-by-case assessment.

Roof Overhangs, Eaves, Pergolas, Canopies and Awnings

Clipped eaves are preferred for mono pitch and gable roofs. Pergolas, louvres and eyebrows are alternative ways to prevent overheating or to add protection from the elements.

It is preferable that flat roofs include overhangs.

- Outdoor canopies are encouraged and suitable for a coastal environment and will help prevent overheating.
- These must be of a contemporary style, complimentary to the architectural material palette of a lot.
- Polycarbonate or glass style lean-to (Archgola style) are not permitted. Plastic awning blinds are not permitted where visible to the public.

Secondary Roof Forms

No odd shapes, random projections or irregular features that disrupt the overall aesthetic and proportional harmony of the design. Refer to 'Secondary Flat Roofs in more Detail'.

Cohesive Roof Forms

Roofs and rooflines should have the same or complementary design language across the entire roof(s).

- All Pergolas, Canopies and Awnings to HBDR approval and these should not be constructed within yard setbacks.



Gable Roof with Secondary Flat Roof. Clipped eaves.



Gable Roof with Secondary Flat Roof. Clipped eaves.



Flat roof permitted. Flat roof overhang and parapets. Eyebrows encouraged.



Mono pitch and Flat roof permitted. Canopies encouraged.



Hip Roofs are not permitted



Exposed Parapet Guttering is not permitted



Secondary Roof Forms are not permitted when they are poorly considered 'add ons'



Contemporary Louvre Canopies encouraged



Polycarbonate/Lean-to Canopies are not permitted for any purpose. Carports must be carefully considered architectural elements, not tacked on.

D4 Building Materials & Colours

The material selections of your home should complement the coastal character of Hobbs Bay Estate and be of a muted and recessive palette. Preferred colours and materials are listed below. These complement the simple contemporary architectural style Hobbs Bay Estate encompasses. Materials should be applied with proportion and balance in mind, contributing to simple contemporary architecture.

In this section we refer to all exterior construction, not limited to roof and walls.

Contemporary Colour and Material Palette

- No bright colours. Coastal, earthy, natural colours and materials that are suitable for a coastal environment. Whites, Browns, Greys, Blacks.
- Light Reflective Value, LRV should be considered.
- In the event one colour or material becomes too dominant within the subdivision, HBDRT may restrict the use of a colour or material from property to property.
- HBDRT may also request an increase or reduction in the number of colours and material selections for an individual dwelling design.

Permitted Wall Claddings

A maximum of two wall cladding types per dwelling are required. This may be reviewed on larger lots. See also, Permitted Roof Claddings.

For Heritage Precinct materials and colours, see section E.

High Coverage Wall Claddings

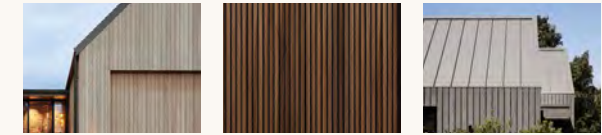
- Timber Weatherboard, Cedar and Timber Slats should be treated with oil or stain even if a weathered look is sought.
- Board and Batten, painted or stained.
- Standing Seam Metal Cladding, vertical preferred.
- Pre-coated Corrugate. Must be used architecturally. No big sheds. Vertical orientation preferred.
- Plaster, smooth finish.
- Fibre Cement Board such as James Hardie Stria or Axon is acceptable where joins are considered architecturally. Vertical preferred.

Lower Coverage Wall Claddings

- Any of the Dominant Cladding Types can also be used as Lower Coverage Claddings.
- Concrete, sealed.
- Stone, appropriate coastal selections. No schist, this is not typically a material reflective of a coastal setting, it is more reflective of an alpine setting.
- Aluminium sheet claddings.
- Corten Steel, weathering steel sheet cladding
- Steel and Zinc, vertical preferred. Precoated and weathered to minimise reflectivity.
- Brick and Linear weatherboard are discouraged. Where colour and pattern is shown to be of a contemporary coastal aesthetic and where this cladding does not compete with other selected materials or claddings it may be acceptable.
- Bagged Brick, smooth, painted or with a natural concrete look finish.
- Fibre Cement Board, acceptable where joins are considered architecturally.
- Rammed Earth will be considered on a case by case basis.

High Coverage Claddings

Timber - Oiled, Stained or Painted Neutral Tones



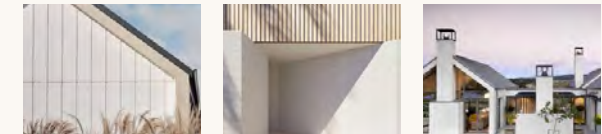
Board & Batten Painted, Board & Batten Stained



Metal Cladding - Vertical Standing Seam & Corrugate, Smooth Plaster Finish with Stone



Fibre Cement with aligning joints, Coastal Contemporary Brick, Plaster Finish

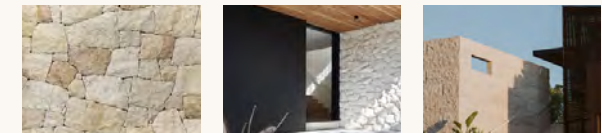


Lower Coverage Claddings

Sealed Board-formed Concrete, Sealed Concrete Smooth, Coastal Stone



Contemporary Coastal Style Stone



Corten Steel, Aluminium Sheet, Bagged Brick Natural



Image Sources:

Permitted Roof Claddings and Other Specific Limitations

- Steel roofing is encouraged, suitable for coastal environments.
- No roof tiles.
- Glass to Windows, Doors and Balustrades - Reflective, frosted, coloured or patterned film on glass, should only be used in an entry, bathroom or toilet and will require HBDRT review.
- No faux woodgrain garage door finishes. Real timber is encouraged.
- No second-hand materials.

Complementary Colours and Materials Required

- No contrasting colours or patterns in materials, ensuring material palettes are muted and recessive. Colours and materials should be complementary. Cool greys mixed with warm browns aren't typically complementary.
- The following combinations of claddings are generally not accepted together:
 - Linear and brick or stone (competing patterns)
 - Stone and brick (competing patterns and sometimes colour palettes)
 - Two types of brick (competing patterns and sometimes colour palettes)

Feature Claddings or Transition Between Claddings

- No small areas of stone/brick or other claddings.
- No pillars or fake pillars in stone/brick or other cladding.
- No feature cladding above windows.
- Singular cladding type to a façade only.
- Location of joins between different claddings to be carefully considered.
- Location of sheet joints in a singular cladding to be carefully considered.

Downpipes & Exterior Outlets

- Downpipes are to colour match to the cladding or façade behind it. PVC downpipes are accepted but must be painted to match.
- All exterior outlets and penetrations, sky light joinery and chimney flues must be colour matched to the exterior face behind.

D5 Balconies, Stairs, Balustrading & Basements

- Balconies to upper levels are to be recessed within the main building form, unless expressed architecturally.
- Balustrading and railings should contribute visually to the overall architectural design.
- Glass balustrading should be kept to a minimum. Contemporary metal and timber balustrading is preferred. Balustrading is to be consistent and in keeping with the architectural design.
- No screening of balustrading with artificial plants or other application.
- All basements must be enclosed. Subfloor claddings and basements should be in keeping with the adjacent wall claddings, colours and style.

D6 Other Architectural Elements & Details

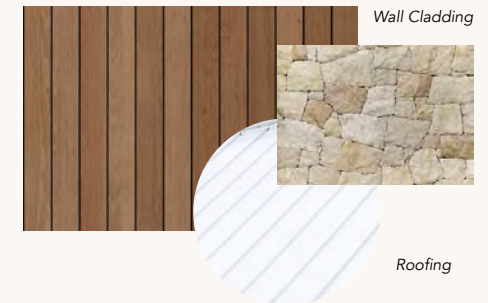
- Facade detailing or other architectural elements should be in keeping with the design
- Front entrances should be sheltered and easily locatable.
- Louvres, shutters, fins and eyebrows are encouraged. They should be in keeping with the overall design.
- Courtyard walls or other walls extending beyond the roof line are encouraged, but must be within the build platform. They add architectural interest, provide privacy and are great for enhancing shade.

Example: Complementary Colours & Materials

Cool Colour Palette



Warm Colour Palette



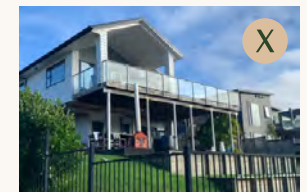
Competing Cladding Patterns, Roof line is not simple, No hip roofs, No small areas of claddings or fake pillars



One cladding type per facade, Bulky forms not accepted. Warm beige and cool greys are not complimentary colours.



Balustrading in keeping with design
Image: Studio2 Architects



Balconies to be recessed into main building form. Balustrading to be complementary to the architecture

E | Special Design Category

Heritage Precinct Lots 21-25, 31, 34, 35, 65-69

E1 General

The Hobbs Bay Estate Subdivision Resource Consent HBRC refers to heritage lots as the following sub categories:

Heritage Adjacent Lots Lots 31, 34, 35, 65-69

Heritage Facing Lots Lots 21-25

This section of the Design Guideline is supplementary to the Hobbs Bay Heritage Design Guidelines and the Hobbs Bay Landscape Concept and Design Controls Report, LCDC. These two documents form part of the Hobbs Bay Estate Subdivision Resource Consent, HBRC. Refer Appendix. The Design Guideline is supplementary to the HBRC, any discrepancies between documents are noted in this section.

The purpose of this additional Design Guideline, Section E Special Design Category, is to provide guidance on how an architect and property owner can interpret the HBRC to produce contemporary design outcomes, not replicas of vernacular rural styles.

All sections of this Design Guideline apply to Heritage Precinct Lots unless differences are specifically noted within this section of the guideline or the HBRC.

"New building designs on lots adjacent to the homestead are to take inspiration from the vernacular and rural architecture of the Victorian era in which the homestead was originally established. These lots have been noted as "Heritage Adjacent Lots" on the masterplan.

Developments which respond to these cues are key contributors to the future sense of place and successful lifestyle outcomes, but they are not expected to imitate or replicate earlier styles and period details. Rather they are to represent contemporary examples of these influences."

- HBRC Hobbs Bay Heritage Design Guidelines.

E2 Design Review Process

All Heritage Precinct Lots will undertake the same Design Review Process as other lots, refer Section G. Heritage lots will also be assessed against the Hobbs Bay Estate Subdivision Resource Consent HBRC. Property owners should allow extra time to complete this review process.



Inspiration for Heritage Precinct Designs



Image Source: Luxitexture

E3 Site & Architectural Design - Heritage adjacent lots only

Heritage Adjacent Lots - Lots 31, 34, 35, 65-69

This section clarifies any discrepancies between the HBDG and the LCDC. If something is not specifically mentioned in this section then please apply the relevant section of this HBDG.

Colour and Material Palette - Claddings

- Painted Timber and Fibre Cement Weatherboards will be acceptable claddings within the Heritage Precinct only. As a point of difference, weatherboard is discouraged throughout the rest of Hobbs Bay Estate. Refer also to Section D4.
- The location of joints in Fibre Cement Board, such as James Hardie Stria must be considered architecturally.
- Timber Weatherboard, Cedar and Timber Slats should be treated with oil or stain even if a weathered look is sought.
- Brick and Linear weatherboard are discouraged. Where colour and pattern is shown to be of a contemporary coastal aesthetic and where this cladding does not compete with other selected materials or claddings it may be acceptable. It must also be sympathetic to the Heritage Precinct.

Colour and Material Palette - Colour Palette

Refer to the appendix for the 'Dulux Most Loved Exteriors Palette'. Some colours within this palette will not be accepted. Colours such as Ōtaki Forks C206 Red Rocks C44 Rotorua C122 Darfield C109 Dashwood Pass C98 Punakaiki C197 Moncks Bay C56 Ōkete C196 Happy Valley C176 are not suitable.

Colours are to be earthy recessive colours that also fit within the constraints of section D4 Building Materials and Colours. In summary of D4, there are to be no bright colours. Colours and materials should be coastal, earthy, natural colours and materials that are suitable for a coastal environment. Whites Brown Greys, Blacks. Please refer to D4 for a full description.

Roof Materials

No tile roofs.

Site Design and Architectural Design

Sympathetic but contemporary.

Form and Subfloor

Subfloor claddings should be in keeping with the adjacent wall claddings colour and style.

Balconies, Decks and Pergolas

These must be contemporary in nature, flat style roofs without over applied detail. For example, a louvre style roof would be an appropriate pergola. Refer to section D.

Facade Design and Architectural Elements and Details

Apply detail in a contemporary way. Refer to section D.

Window and Window Joinery

Apply detail in a contemporary way. Refer to section D.

Roof Forms

Hip roofs will not be accepted. Clipped eaves preferred. Flat and Monopitch roofs should also follow the design principles set out in Section D3. LCDC roof pitch of 20-30 degrees takes precedence over D3 roof pitches.

Built Form and Materials

Applicable to Heritage Adjacent Lots Only (refer to plan on previous page)

General Guidelines for all Heritage Adjacent Lots:

- New designs in these areas are to take inspiration from vernacular rural styles, in a similar manner to the houses shown in the examples in this document. Key design elements to consider are noted below.
- Site layout, building form and scale, architectural style, materials and landscaping are sympathetic to nearby heritage homestead.
- Detached single houses are typically surrounded by green and landscaped yards, with small trees and large shrubs to soften the built forms.
- Preferred forms will express each storey, with vertical modulation expressed by the proportions of the window joinery. Low height subfloor areas are in keeping with the heritage style, but high subfloor areas are to be avoided.
- Primary cladding materials are to be painted timber weatherboard, painted James Hardie Linea weatherboards or painted James Hardie Stria or similar as approved by the developer. Monolithic type cladding is not acceptable. Areas of natural finish timber cladding appropriate to the overall design are acceptable. Any brick elements (e.g., chimneys) should retain the natural brick finish, and not be painted with opaque paint.
- The colour palette is to use recessive earthy colours (as shown in the 2023 Dulux Most Loved Exteriors palette).
- Use porches and decks to emphasize ground level, with low sheltering verandahs, porches or pergolas over where appropriate. High stud porticos are not appropriate.
- Avoid over-applied detail, use sparingly at key locations such as porches and principal entrances
- Window and door joinery is to acknowledge traditional timber window framing patterns and utilise horizontal and vertical transoms/mullions (and glazing beads if desired/appropriate) to articulate opening sashes and doors. Large format single-pane windows and doors are not permitted on elevations visible from the Homestead. If painted timber facings are used they should match the colour of the window/door joinery. Silver anodized joinery is not permitted.
- Roof forms are typically simple hipped or gable forms with a roof pitch between 22 degrees and 30 degrees, with wide eaves. Lower roof pitches are acceptable where they complement the overall design, however flat and monopitch roof forms are only acceptable over small areas as part of an acceptable design. A-frame houses and mansard roofs are not permitted.
- Acceptable roofing materials are corrugated profile longrun colorsteel or real slate/shingles. 'Shingle-effect' roofing felt, or pressed metal roof profiles mimicking ceramic tiles are not appropriate. Concrete roof tiles are not permitted. Alternative roofing materials that complement the overall design may be appropriate.

Site Design and Architectural Design
Sympathetic but contemporary.

Site Design Controls - Lots 65, 66, 67
See Appendix.

- Houses are to avoid dominating elevations and sightlines towards the homestead
- Height in Relation to Boundary (HIRB) is to be calculated using the Single House Zone HIRB controls.
- Refer also to the specific additional Design Controls for Lots 65, 66 and 67 shown on the following plan sheets: *Hobbs Bay Design Guidelines Heritage Adjacent Lots 45491-DR-SK306-308*

E4 Landscape Design - Heritage adjacent lots & Heritage facing lots

Heritage Adjacent Lots - Lots 31, 34, 35, 65-69

Heritage Facing Lots - Lots 21-25

This section clarifies any discrepancies between the HBDG and the LCDC. If something is not specifically mentioned in this section then please apply the relevant section of this HBDG.

Landscape Design
Refer also to Section C of this HBDG which also applies here.

Landscape Design - Front Yard Planting and Fencing
Refer to pg 13 of this HBDG for more information on front yard planting and fencing.

General Landscape Guidelines

Applicable to both Heritage Adjacent Lots and Heritage Facing Lots (refer to plan on previous page)

- Concentrate tall planting to private rear yards, and limit tall hedge planting or specimen trees in front yards to allow sightlines between the house and the street.
- Front lawns and planted gardens are preferred to predominantly hard landscaping. Provide clearly defined pedestrian routes to main entrances.
- Glass balustrades that will be visible from the café and its grounds are not permitted
- Green landscaping, trees and planting is to extend between the house and the boundaries to give a sense of being in a rural space.
- Garages are not permitted to dominate the street side of the house. Garage doors should preferably be a similar colour to the walls surrounding them.
- Refer to Boffa Miskell Landscape Concept and Design Controls – s92 Response (dated 8th May 2023) for fences and boundary treatments.
- Wherever possible, the main living areas of the house are to be integrated into the surrounding garden by using decks, patios, terraces, landscape steps etc to connect the floor level of the house to the level of the surrounding garden.



F | Maintenance & Completion

General Maintenance of Sections

- All building and landscape finishes and materials, not limited to painting and staining, should be maintained as weathering occurs. This includes roof and chimney weathering, such as moss.
- Broken or faulty landscape or building materials shall be replaced as soon as they are discovered. This includes, but is not limited to, fencing, windows, claddings, letterboxes.
- Vehicles such as cars, recreational vehicles, boats, trailers or utility vehicles etc must be contained within a residential lot. They are not to be parked over lot boundaries. Where recreational vehicles, boats or trailers are on a lot for more than a 2 week period, they must be screened as per Section C4.
- Laydown areas for building materials and other materials are to be located within the belonging lot.
- Lots should be free of rubbish and garden waste.

During Construction

Refer to the Covenants for information around specific requirements during Construction

Landscaping Maintenance

- Dead plants and trees should be removed. These shall be replaced as soon as reasonably possible and within the next planting season.
- Hedges and plants to be kept trimmed and maintained to maximum height set out in the section Landscaping.
- Grass height and weeds should be maintained.

Completion

Front Yard Landscaping, including driveways and planting should be completed within 3 months of Practical Completion.

Note: A Landscape Management Report needs to be submitted with building consent.

G | Design Approval Process

G1 The Process

Please contact HBDRT here: sales@hobbsbayestate.co.nz

The Design Review Process is compulsory as part of the Hobbs Bay Estate Covenants. We encourage section purchasers to make early contact with the Hobbs Bay Design Review Team (HBDRT) with any questions they may have.

The HBDRT has been formed by the Subdivision Developer Hobbs Bay Estate Limited.

Site visits are recommended for all designers and contractors, so to fully understand the environment they are designing for.

The Design Guideline Review Process HBDR, does not assess regulatory standards. HBDRT and the Developer do not accept liability for ensuring designs meet compliance and regulation.

The HBDRT reserve the right to charge a section purchaser for lengthy review processes. Please ensure plans are presented in a professional manner, all legal covenants have been met and all required detail is included. Additional information may be requested.

The HBDRT may, at their discretion, approve a design that does not meet the Design Guideline criteria. An alternative solution must demonstrate how the design aligns with the overall vision of the Design Guideline in order to be approved.

G2 Approval Drawing Requirements

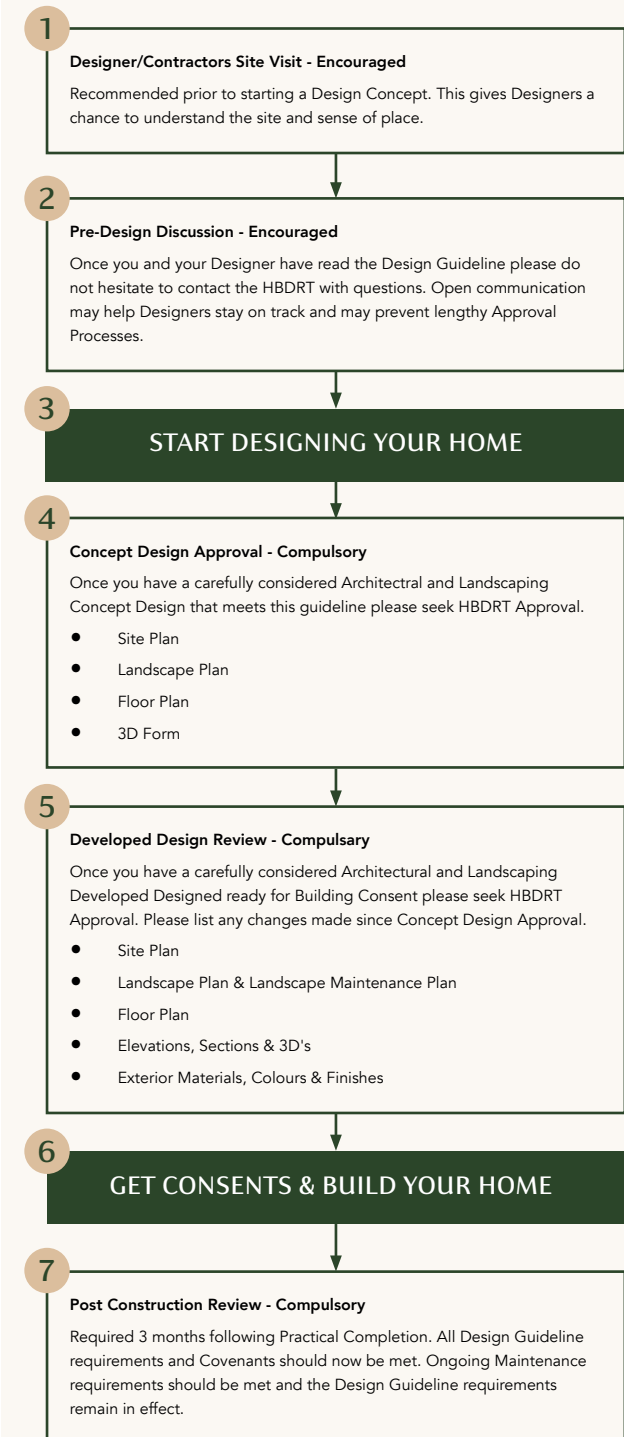
A checklist with a more detailed drawing requirements list will be given to property owners.

Drawings should indicate the following:

- Site Plan - Yard Setbacks, Building Platform, Site Coverage, Impervious Surfaces, Canopies, Balconies
- Landscape Plan - Planting, Location of Utilities, Hard Landscaping, Fencing, Provide Plant Schedule
- Floor Plan - Roof line, Room Names
- Elevation - Architectural Form, Location of Windows and Architectural Features, Materials & Colours, Height in Relation to Boundary, Landscaping
- Section - Architectural Form
- 3D Form - Architectural Form, Landscaping & Materiality
- Exterior Materials, Colours & Finishes

G3 Amendments to the Design Guidelines

From time to time amendments may be made to these Design Guidelines.



H | Appendix

H1 General

There are a number of supporting documents which should be read in conjunction with The Hobbs Bay Design Guideline, HBDG.

H2 Site Design

Overall Layout Plan, Boundary Dimensions, Lot Sizes m2 & Encumbrance Easement Lots 8-14, 51, 52, 54, 55, 88 & 89

- Cato Bolam Scheme Plans RC 4591-DR-PLN-1200 1210-1216 1220 16 Oct 2023

Yard Design Controls - Setbacks

- LCDC, Landscape Concept & Design Controls Rev 10 Boffa Miskell 17 Oct 2023
This document is referred to throughout and discrepancies noted in the HBDG.
- For Subdivision Design Control Setback Zones, Impervious Area & Building Coverage. Refer LCDC or this Appendix.
- For Specific Lot Setbacks. Refer LCDC or this Appendix.

Hobbs Bay Vehicle Crossing Specifications and Proposed Vehicle Crossing Locations

- Cato Bolam 45491-DR-C-3700 Rev C Proposed Vehicle Crossing Details. *Refer to this Appendix.*
- Proposed vehicle crossing locations for each lot are shown on Proposed Roading Overall Layout Drawing 45491-DR-C-3000_M -3002_J

H3 Landscape Design

Yard Design Control - Fencing and Boundary Treatment

- LCDC, Landscape Concept & Design Controls Rev 10 Boffa Miskell 17 Oct 2023
 - Fencing and Boundary Treatment Diagram. Refer LCDC.
- Please note that HBDG goes further to define fencing requirements. Refer HBDG Section C where any discrepancies between LCDC and HBDG are explained and precedence is determined.

Typical Post & Rail Fence Details

- LCDC, Landscape Concept & Design Controls Rev 10 Boffa Miskell 17 Oct 2023
- For Proposed Post and Rail Fencing with Planting to Heritage Precinct Lots and other boundaries adjacent to covenanted bush. *Refer HBDG Section C.*

Boundary Planting Strategy

- LCDC, Landscape Concept & Design Controls Rev 10 Boffa Miskell 17 Oct 2023
- Refer HBDG Section C, where any discrepancies between LCDC and HBDG are explained and precedence is determined.

Coastal Lots

- Coastal Adaption Encumbrance Diagram 45491-DR-C-1354 Rev B 16 Oct 2023 (500 Lot Series)
- Draft Encumbrance
- Boundary Planting Strategy Plan. Refer LCDC.
- Refer also to HBDG Section C.

H4 Hertiage Precinct Lots

- Heritage Adjacent & Homestead Facing Lots, Archaeological & Historical Sites – Explanation
- LCDC, Landscape Concept & Design Controls Rev 10 Boffa Miskell 17 Oct 2023
- Typical Homestead Boundary
- Cato Bolam RC Drawing 45491-DR-SK306 – SK308 Rev A_12052023 (BUN604066550 Stamped Plans Lot 65-68
- Dulux Most Loved Exteriors Palette
- Refer to HBDG Section E and C where any discrepancies between the LCDC and HBDG are explained, and precedence is determined.

H5 Covenants

- Draft Land Covenants

H6 As built drawings & reports

- As Built Drawings and Reports will be completed in due course.

H7 Other Subdivision Information

The documents listed in this section are subdivision documents not specifically referred to in the Hobbs Bay Estate Design Guideline, but relevant to individual property designs.

Geotechnical Investigation Report - Subdivision

- AKL2021-0219AD Rev 2 Geotechnical Investigation Report (Resource Consent) 060722

YARD DESIGN CONTROL

SET BACKS



Design Controls

- Zone 1**
 - 6m rear yard
 - Alternating 2m / 4m side yard
 - 5m front yard
 - Zone 2**
 - 3m rear yard
 - Alternating 2m / 4m side yard
 - 5m front yard
 - Zone 3**
 - 3m rear yard
 - 3m side yard
 - 5m front yard
 - Zone 4**
 - 10m rear yard
 - 3m side yard
 - 5m front yard
 - Zone 5**
 - 4m rear yard
 - Alternating 2m / 4m side yard
 - 5m front yard
 - Zone 6**
 - Specific Yard Controls (See diagram)
- Further detailed on Specific Yard Controls Plan (See diagram)
- SEA Covenant Setback (2m)
 - Heritage Setback (5m)
 - ASCIE Line

Site Coverage Proposal

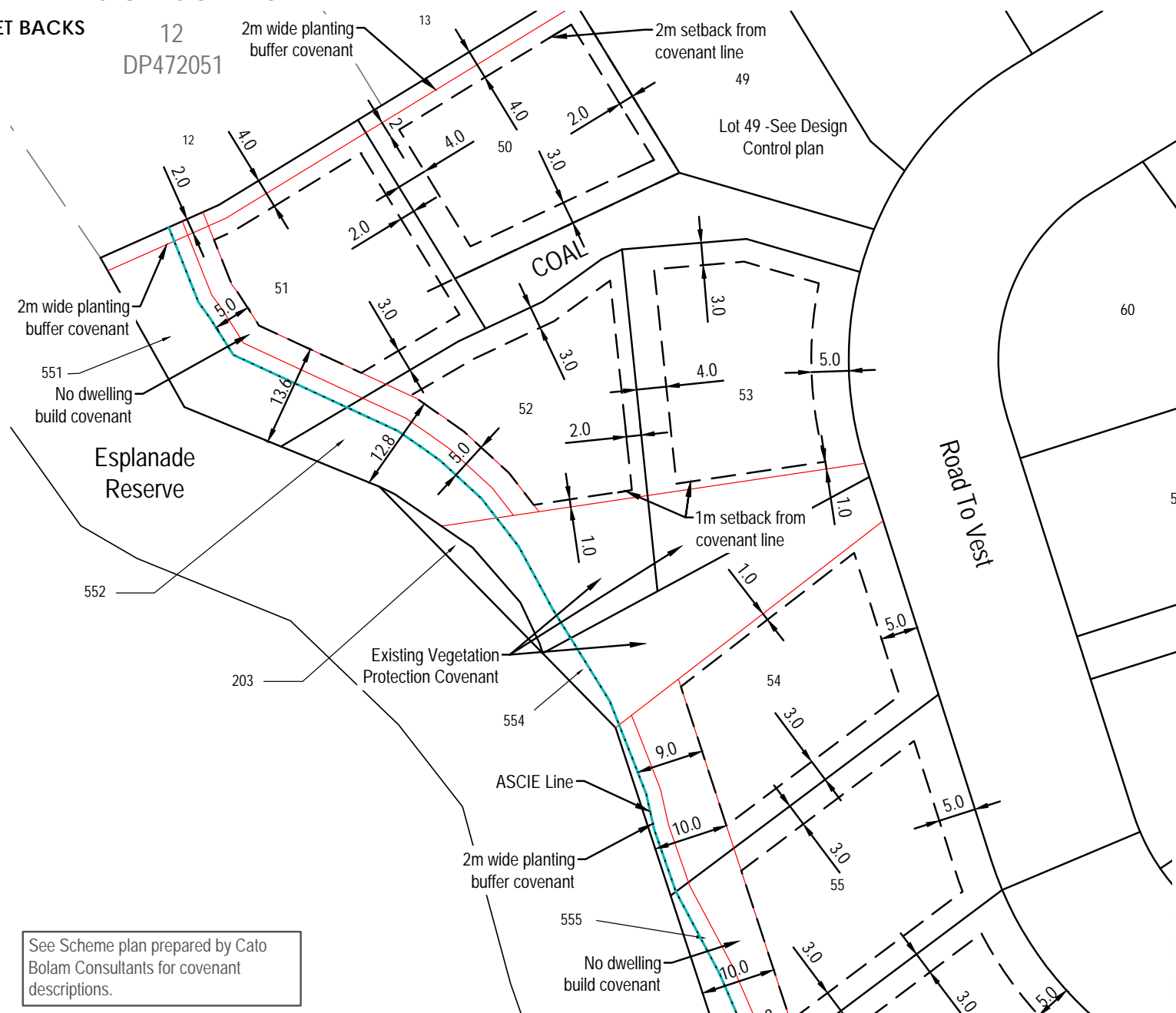
- Yellow/Green**
 - Impervious Area: "The lesser of 40% or 400m²"
 - Building Coverage: "The lesser of 35% or 300m²"
- Other Colours**
 - Impervious Area: "The lesser of 40% or 500m²"
 - Building Coverage: "The lesser of 30% or 400m²"



Hopper Design Controls Rev 09
16/10/2023

SET BACKS

12
DP472051



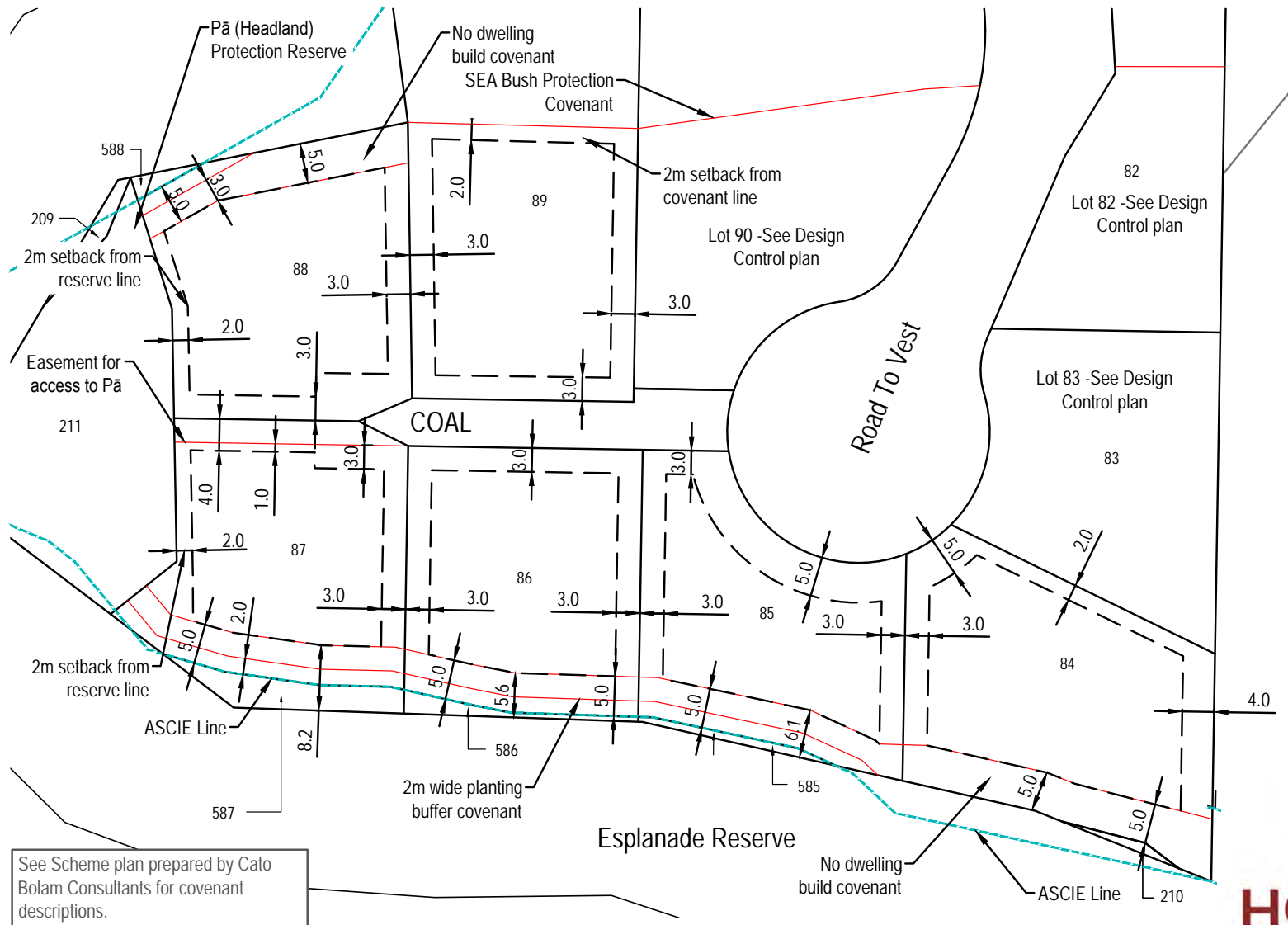
See Scheme plan prepared by Cato Bolam Consultants for covenant descriptions.



Specific Yard Control Plan Rev. 04
Sheet 1 of 4
SCALE 1:500 (A3)

YARD DESIGN CONTROL

SET BACKS

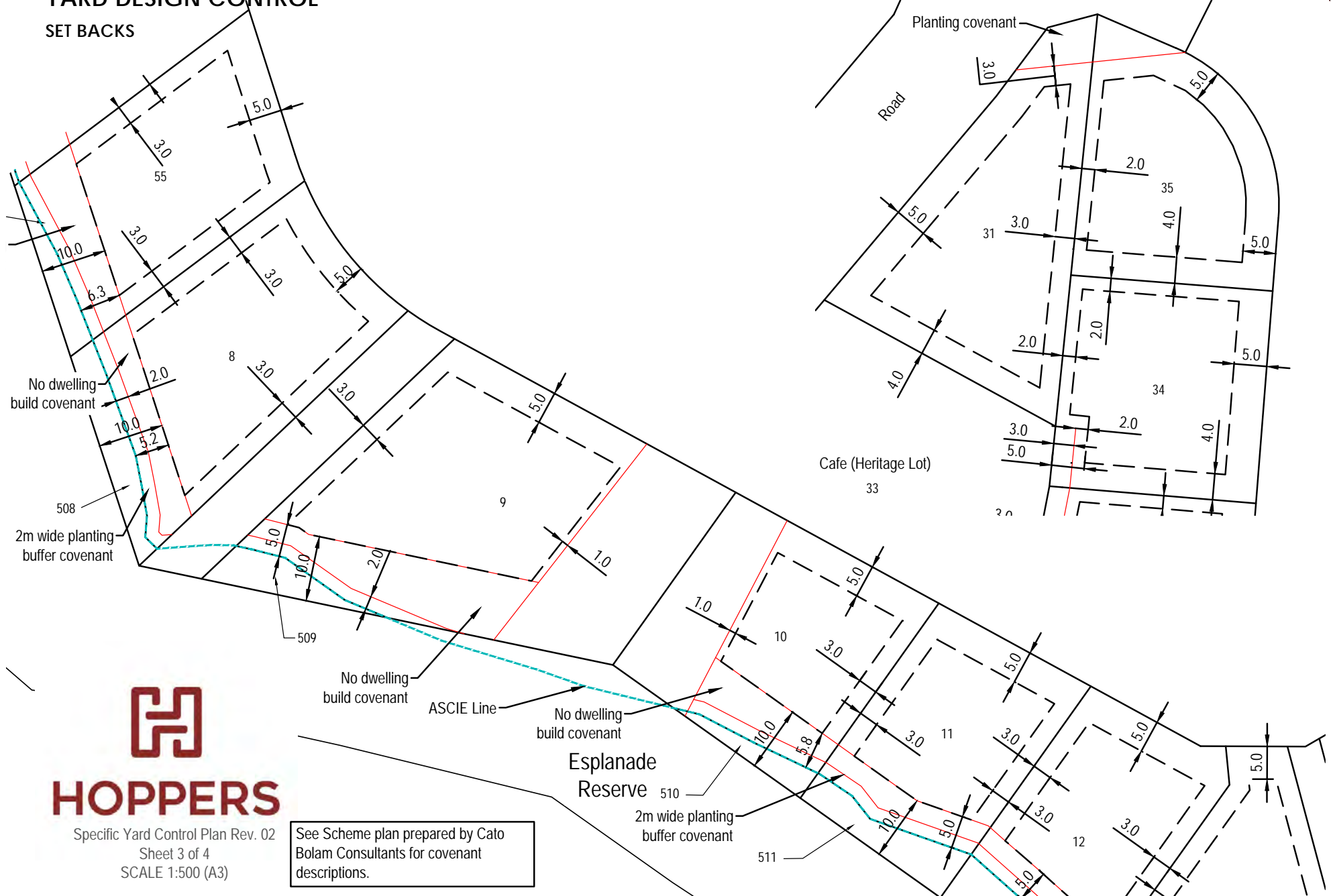


HOPPERS

Specific Yard Control Plan Rev. 05
 Sheet 2 of 4
 SCALE 1:500 (A3)

YARD DESIGN CONTROL

SET BACKS

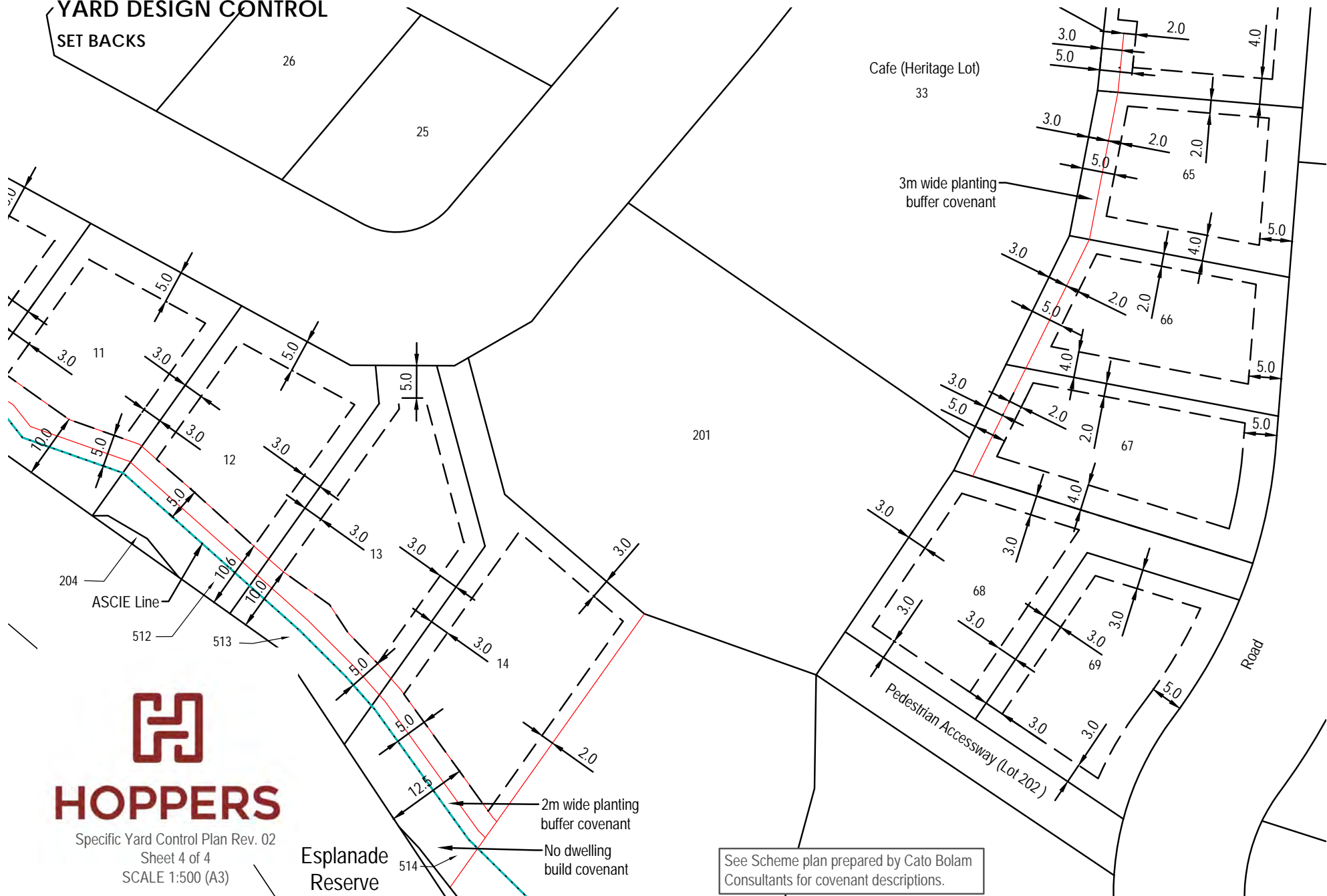


HOPPERS

Specific Yard Control Plan Rev. 02
Sheet 3 of 4
SCALE 1:500 (A3)

See Scheme plan prepared by Cato
Bolam Consultants for covenant
descriptions.

YARD DESIGN CONTROL SET BACKS



Specific Yard Control Plan Rev. 02
Sheet 4 of 4
SCALE 1:500 (A3)

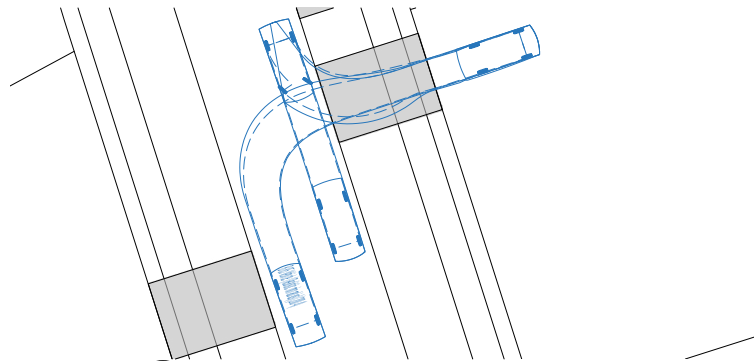


Eligible Road Frontage for
Vehicle crossing
SCALE 1:2500 (A3)

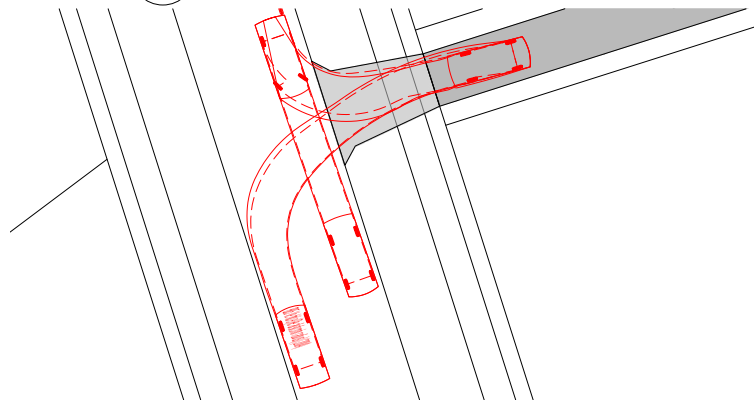


Lot No	Eligible Road Fronting Boundary (m)	Comments
1	22.4	
2	53	
3	23.65	
4	21.65	
5	21.65	
6	48	
7	29	
8	25.6	
9	33.5	
10	26.4	
11	26.5	
12	22.9	
13	10	
14	5.4	
15	46	
16	22.5	
17	22.5	
18	22.5	
19	45.5	
20	22.3	
21	37.4	
22	24.1	
23	23.6	
24	23.25	
25	39.6	
26	22	
27	23.2	
28	25.5	
29	25.5	
30	25.5	
31	45.7	
32	N/A	
33	N/A	
34	32.5	
35	41.9	
36	18.2	
37	11.5	
38	24.2	
39	26.5	
40	25.7	
41	23.7	
42	23.7	
43	23.7	
44	21.1	
45	12.8	
46	18.9	
47	25.3	
48	23.4	
49	8.9	
50	6	COAL
51	6	COAL

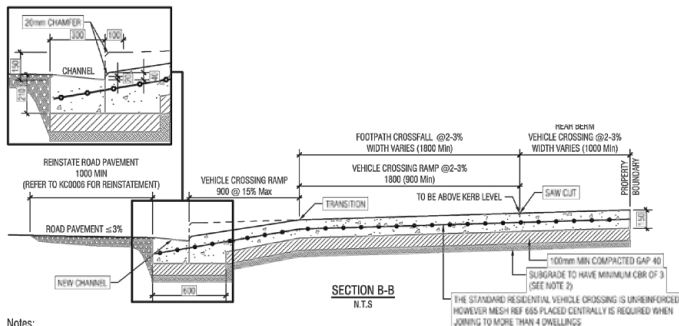
52	6	COAL
53	25.9	
54	24.4	
55	24.5	
56	27	
57	6	COAL
58	6	COAL
59	25	
60	48.3	
61	35	
62	34.7	
63	23.4	
64	23.4	
65	26.4	
66	21.4	
67	23	
68	6	
69	38.2	
70	24.4	
71	5	
72	21.7	
73	28.9	
74	59	
75	31.1	
76	5	
77	24.8	
78	28.2	
79	21.9	
80	25	
81	38.2	
82	35.8	
83	26.2	
84	6.7	
85	29.6	
86	7.8	COAL
87	7.8	COAL
88	7.8	COAL
89	7.8	COAL
90	51.9	
	2159.5	Total Road fronting boundary eligible for vehicle crossing
	88	Total No of lots requiring vehicle crossing
	24.54	Average Length (m) of road fronting boundary



1 Vehicle Crossing Plan View > 14.0m Frontage
Scale: 1:300

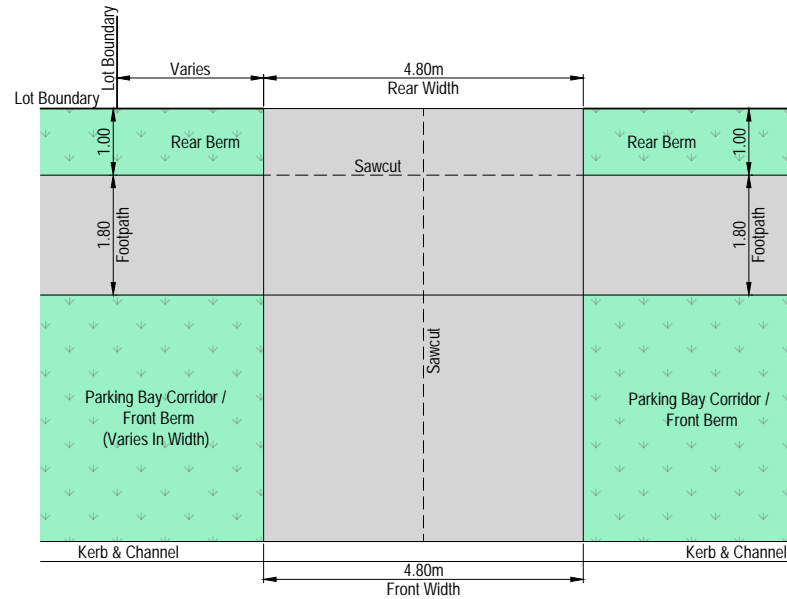


3 Vehicle Crossing Plan View < 14.0m Frontage
Scale: 1:300

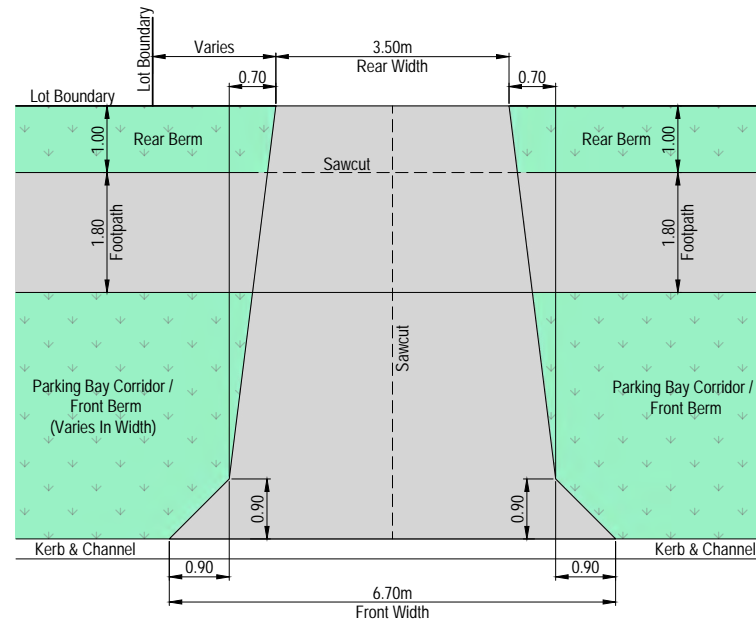


- Notes:
- All dimensions are in millimetres unless noted otherwise.
 - If CBR of existing Subgrade is <3, Pavement Design should be provided and approved by Auckland Transport.
 - All concrete to be 20 Mpa and constructed in accordance with NZS 3109 with a broom finish and may contain up to 4% oxide.
 - Saw cut expansion joints at 4m centres maximum each way in addition to saw cuts shown on dwg.
 - Any existing infrastructure within the crossing may require specific design approval for relocation.
 - Construct in same material and finish as surrounding footpath.
 - Rear Width to be as permitted under Auckland unitary Plan:
 - 2750-3000 - Single vehicle crossing
 - 3500-6000 - Two-Way Shared Access
 - 3000-3500 - One-Way Shared Access

5 TDM Detail - Cross Section
N.T.S.



2 Typical Vehicle Crossing Layout > 14.0m Frontage
Scale: 1:75



4 Typical Vehicle Crossing Layout < 14.0m Frontage
Scale: 1:75

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PLANNERS | SURVEYORS | ENGINEERS
ARCHITECTS | ENVIRONMENTAL

Hopper Developments Limited
3-5 Daisy Burrell Drive
Gulf Harbour

**Proposed
Vehicle Crossing
Details**

FOR RESOURCE CONSENT

No.	REVISION (DESCRIPTIONS)	NAME	DATE
A	Issued For Resource Consent	K.McPherson	25/05/2022
B	Issued For Resource Consent	K.McPherson	27/05/2022
C	Issued For Resource Consent	K.McPherson	28/06/2022
SURVEYED		B.Mowat	01/11/2022
DESIGNED		M.Crosen	28/03/2022
DRAWN		B.Nel	30/03/2022
DATE	30/03/2022	ORIGINAL SCALE	AS DRAWN
DRAWING NO.	45491-DR-C-3700	ORIGINAL SIZE	A3
		REVISION	C



HOBBS BAY
ESTATE

Contact Us

(09) 427 0015

sales@hobbsbayestate.co.nz

HOBBSBAYESTATE.CO.NZ

Disclaimer: It is the owner's responsibility to ensure that building designs comply with this Design Guideline, the covenants, easements, consent notices and/or encumbrances on the Title, the Auckland Council District Plan and any conditions in the Sale and Purchase Agreement. The information in this document may change without prior notice as required by the authorities or the developers. While every effort has been made to ensure the accuracy of the plans, drawings, and images, we accept no responsibility for any errors at the time of publication.